

Exterior Punch List


Project Name and Address:		Project No:
Hamilton Avenue School 184 Hamilton Avenue Greenwich, CT 06830		6361.A
		Project Director/Manager:
		J. Aliotta / R. Rottenberg
		Client:
		Hamilton Avenue School Building Committee
		Subject:
		Exterior Punch List
To	From	Date
Rich Sitnik, PinnacleOne	Risa Rottenberg	October 31, 2008
Cc:		
F. Mazza, HASBC; P. Killiany, P1; T. Klair, PB; S. Wallerstein, T. Byrne, GPS N. Ericson, TDEG; M. Saleh, TT; K. Bogardus, LEES; J. Aliotta, SHCA		






A walk-through of the site was conducted on Tuesday, October 14, 2008, a walk-through of the roof was conducted on Thursday, October 16, 2008 at the above-mentioned site and the following observations were noted. Unless otherwise noted, all photos were taken Thursday, October 16, 2008.


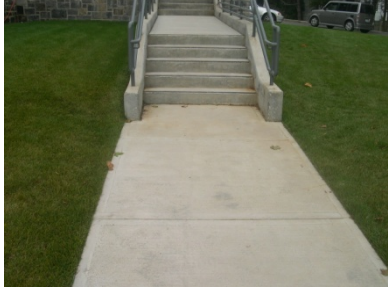

All reference to room numbers is to construction drawing room numbers, not signage numbers.






Some, not all, of the open items from previous field reports are repeated here. Refer to previous reports and complete all open items to the satisfaction of the Owner and End-user. With the exception of areas accessible from the roof, all observations were made from the ground without the aid of binoculars or other close inspection.

It is the responsibility of the Contractor to fulfill the obligations of the contract whether noted in this report or not.






No.	Image	Observations / Comments	Completion Date and initials of P1/PB/GPS representative who accepts
Site Work			
1		<u>General Site Note – Wood Mulch</u> Replace all areas of wood mulch as required to provide 4” minimum thick as called for in Spec. 02900-2.4. Weed barrier fabric observed as close as ½” below the surface in multiple locations, suggesting only a minimal amount of mulch has been provided.	





No.	Image	Observations / Comments	Completion Date and initials of P1/PB/GPS representative who accepts
2		<u>Landscape Edging</u> Specification Section 02900-2.10 and approved submittal #02900-02 called for steel edging and stakes. Contractor installed plastic edging, anchors not observed. Owner/end-user to confirm if acceptable. If not, replace with the specified/approved product.	
3		<u>North Service Drive</u> Deep grooves observed in asphalt drive and concrete apron. Repair to like new condition.	
4	<div></div> <div>10/17/07 – Ham. Ave. 6/20/08 – Service Drive to Walk 10/16/08 – Parking Lot</div> <p><u>Curb ramps – Tactile Surface, typical throughout</u> Installation does not meet the letter of the code per ADAAG 4.7.7. Visual contrast per ICC/ANSI A117.1-1998, Section 705.3.1.2 not provided. It may be possible that the local official responsible for enforcing the federal accessibility code may accept the installation as is. P1 and WCC to arrange an inspection by the local authority and provide written authorization if acceptable</p>		

No.	Image	Observations / Comments	Completion Date and initials of P1/PB/GPS representative who accepts
5	 <p><u>Grass Area from Hamilton Avenue Yards</u> Cut out or thatch dead sod (typically observed at edge conditions: curbs, site walls, foundation walls, etc.; with some brown spots in middle areas). Replace top soil. Provide grass seed to blend with established sod and protect while germinating. Complete coverage required prior to acceptance.</p>		
6		<p><u>Steps and Walkway from North Terrace</u> Remove rust stains, dirt, tire marks, tape remnants, etc.</p>	
7		<p><u>Walkway from North Terrace - Wheelchair Sitting Area</u></p> <ul style="list-style-type: none"> • Reinstall Town bench as called for on Dwg. A001. (Bench stored off site by Town). • Grass coverage not yet complete. Complete coverage required prior to acceptance. 	

<p>8</p>	<div data-bbox="168 380 553 667">  <p>11/16/04</p> </div> <div data-bbox="168 695 553 982">  <p>11/16/04</p> </div> <div data-bbox="578 283 865 667">  <p>11/16/04</p> </div> <div data-bbox="578 695 959 982">  <p>10/16/08</p> </div>	<p><u>Hamilton Avenue Yard</u> Existing landscaping was removed from the site to accommodate the contractors' means and methods. Drawings call for existing landscaping to remain. Items should be replaced in kind.</p> <p>SHCA/Langan can provide a plant list if necessary.</p>	
<p>9</p>	<div data-bbox="168 1045 553 1333">  </div>	<p><u>Loading Dock</u></p> <ul style="list-style-type: none"> Asphalt repair at bottom of stair: provide 1:48 max slope in both directions per CSBC 1014.1.1. Sloped concrete installed at the east side of the loading dock stair. Installation does not conform to Dwg. 3/A004. Intent was to be a ramp flush with the joint between the tread and bottom of risers. Owner/end-user to confirm if installation is acceptable. <p>Note for record, free-standing cheek wall was not called for on the west side of the loading dock stair. Wall was supposed to be below treads and risers. Ref. Dwg. 2/A004.</p>	



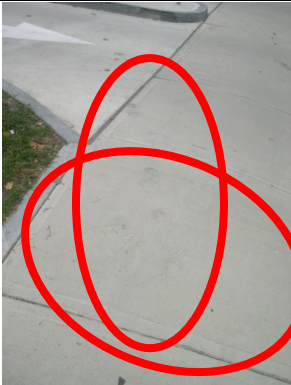


10	<div data-bbox="168 380 553 667" data-label="Image"> </div> <div data-bbox="162 665 264 697" data-label="Text"> <p>10/16/08</p> </div> <div data-bbox="576 380 961 667" data-label="Image"> </div> <div data-bbox="583 665 660 697" data-label="Text"> <p>9/9/08</p> </div> <div data-bbox="980 283 1273 667" data-label="Image"> </div> <div data-bbox="985 665 1066 697" data-label="Text"> <p>9/9/08</p> </div> <p><u>Gates and Fence at Service Yard</u> Gate/fence construction and material do not match the contract documents. Substitution not reviewed with SHCA.</p> <p>Ref. Addendum #4 comment to Dwg. 4/A002 re: west gate and Addendum #6 Response to Question #15 re: double gates at dumpster pad.</p>	
11	<div data-bbox="168 966 457 1348" data-label="Image"> </div> <div data-bbox="162 1346 238 1375" data-label="Text"> <p>9/9/08</p> </div> <div data-bbox="477 1060 862 1348" data-label="Image"> </div> <div data-bbox="475 1346 566 1375" data-label="Text"> <p>4/15/08</p> </div> <p><u>North Yard – Conduits for Future Generator</u> Provide conduit caps. Duct tape not acceptable.</p>	
12	<div data-bbox="168 1381 553 1667" data-label="Image"> </div> <p><u>Generator Pad</u></p> <ul style="list-style-type: none"> • Remove exposed nails. Patch concrete. • Provide smooth finish at vertical surfaces 	





13		<u>North Yard</u> Grass seed coming up but coverage not complete at time of walk-through. Complete coverage required prior to acceptance.		
14		<u>North Yard – east of Gym Double Doors</u> Refer to general comment above regarding edging material. Replace the plastic edging if directed by Owner/End-user. If Owner/End-user accepts the plastic edging then properly install and secure the edging between the crushed stone and wood mulch.		
15		<u>North Yard – Play Equipment Area</u> Provide continuous wheelchair accessibility. Maximum permissible vertical change in level is ¼” per ICC/ANSI A117.1-1998, Section 303.2. Note for record, SHCA was not involved in the changes to this area.		
16		 Photo taken from main roof.	<u>Playfield</u> Provide grass seed at bald spots, typical throughout. Rake out stones, replace top soil, reseed, and protect while germinating. Complete coverage required prior to acceptance.	




17		<u>Playfield</u> Remove discarded concrete. Provide grass seed at bald spots, typical throughout. Rake out stones, replace top soil, reseed, and protect while germinating. Complete coverage required prior to acceptance.	
18	<u>Wheelchair Sitting Area - Asphalt Path parallel to Charles St.</u> Grass seed in place but coverage not complete at time of walk-through. Complete coverage required prior to acceptance.		
19		<u>Wheelchair Sitting Area south of Baseball Backstop</u> <ul style="list-style-type: none"> Grass seed in place but coverage not complete at time of walk-through. Complete coverage required prior to acceptance. Provide minimum 5'-0" wide x 5'-0" deep area of reinforced pavers and grass per Dwg. A001, Site Legend Diagram. 	
20		<u>Wheelchair Sitting Area at Curve north of Basketball Court</u> Provide 1:48 maximum slope in all directions at wheelchair sitting area (required for wheelchair accessibility per code).	
21		<u>Wheelchair Sitting Area at Curve south of Basketball Court</u> <ul style="list-style-type: none"> Remove weeds, provide grass seed. Complete coverage required prior to acceptance. Provide minimum 5'-0" wide x 5'-0" deep area of reinforced pavers and grass per Dwg. A001, Site Legend Diagram. 	







22		<u>Asphalt Path around Playfield</u> Provide flush transition at all patched areas; changes in elevation greater than ¼" vertical not permitted per code.	
23		<u>Asphalt Path at Basketball Court</u> Repair grooves / resurface to like new condition.	
24		Unused sections of original White Picket Fence currently stored in sideyard west of Basketball Court. Owner to indicate where/if attic stock to be stored. Locate or remove from site as directed by Owner.	
25		<u>Asphalt Path at Northwest corner of Parking Lot</u> Ensure slope of path is 1:20 max. as called for; required for wheelchair accessibility per code.	
26		<u>Manhole #MH-7 (Phase 1 – NW of Parking Lot)</u> Lower manhole cover or raise finished grade to avoid tripping hazard.	







27		<p><u>Parking Garage Exhaust Vent Shaft</u></p> <ul style="list-style-type: none"> • Complete roof membrane termination • Provide P-11 metal fascia per Dtls. 7 and 8 on AP400 • Provide expansion joints at S.S. flashing per Spec. 07600 and SMACNA standards. • Provide P-11 conductor head and rainwater leader per Dwg. AP400 • Provide Pre-cast splash guard per Dwg. 5 & 6A on AP400 • Remove efflorescence from granite and pre-cast. Refer to general comment elsewhere in this report. Ensure weep holes have been provided above flashing, between granite and pre-cast panels, and that holes are not clogged. • Blank-off panel was called for at louver but not provided and no longer required with changes per SK-081023-A. Provide associated credit. 	
28		<p><u>Benches</u> Provide benches at Butterfly Garden as indicated on Dwg. A-001.</p>	
29		<p><u>Butterfly Garden</u></p> <ul style="list-style-type: none"> • Replace damaged FXI lights with new • Landscape areas do not appear to have been watered/maintained. Replace dead plants with new per Spec. 02900-1.8-C during the spring planting season. 	





30		<u>Playfield at path north of Butterfly Garden</u> (4) access covers – lower units or raise grade to avoid tripping hazards.		
31	<u>Wood mulch north of Butterfly Garden between path and Building</u> Remove weeds, mushrooms, and grass growing in area of wood mulch. See also general site note above regarding thickness.			
32				
	10/16/08			
	8/4/08			
	<u>Sidewalk at St. Roch – Exit Driveway from Surface Level Parking Lot</u> Provide visual and tactile surface full width and depth of curb ramp (sidewalk to driveway) per Dwg. C001, Dtl 7/C401, and ADAAG 4.7.7. Owner/End-user to confirm if footprints in concrete at adjacent area are acceptable. If not, replace.			
33		<u>St.Roch Yard</u> Cut out or thatch dead sod. Replace top soil. Provide grass seed to blend with established sod and protect while germinating. Complete coverage required prior to acceptance.		

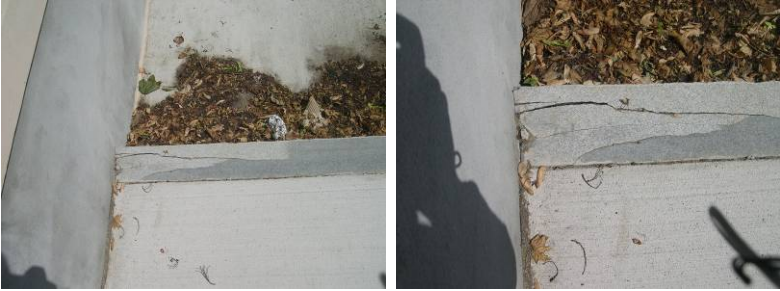



34		<u>St.Roch Yard between Garage and Sidewalk</u> Repair ruts. Cut out or thatch dead sod. Replace top soil. Provide grass seed to blend with established sod and protect while germinating. Complete coverage required prior to acceptance.	
35		<u>St. Roch Sidewalk between upper and lower driveways</u> Remove damaged area of sidewalk and provide concrete spall repair.	
36		<u>St. Roch Sidewalk between upper and lower driveways</u> Replace broken granite curb.	
37		<u>St. Roch Yard</u> Installed gates do not conform to contract documents. Shop drawings not reviewed/not approved by SHCA. Not all gates installed at the time of this walk-through.	






38		<p><u>Courtyard Plantings</u> Landscape areas do not appear to have been watered/maintained. Replace dead and missing plants with new per Spec. 02900-1.8-C during the spring planting season.</p>	
39		<p><u>Courtyard Trees</u> The trees appear to have been selected from poor stock (irregular form, and not uniform from tree to tree). Additionally, areas do not appear to have been watered/maintained during their establishment period. Replace trees with new per spec. during the spring planting season.</p>	
40	 <p>10/16/08 from roof 7/2/08</p>	<p><u>Courtyard Landscaping - Purple Wintercreeper</u> Landscape areas do not appear to have been watered/maintained. Material was planted in mid-June. Greater coverage expected over the four month period. Fill in the gaps with new plugs of Purple Wintercreeper in the spring planting season to replace the ones that have died.</p>	




41	 <p>7/2/08</p>	<p><u>Courtyard (typ. throughout)</u> Plant size for symbol TH was supposed to be 30" – 36". Planted material appears to be 6" – 12". At the request of the Owner, "Sweetbox-Sarcococca Hookerana" was supposed to be provided in lieu of Taxus Media "Hicksii". Planted material unknown; submittal not received.</p> <p>Installed material does not conform to SHCA/Langan recommendations. Owner/end-user to confirm if acceptable.</p>	
42	 <p>Photos taken 3/25/08</p>		<p><u>FXG Bollard Light Fixtures</u> Rust observed on fixtures and bolts. As noted in previous field reports, color of exterior light fixtures is not correct; paint type is unknown. Remove rust; prime and repaint. Provide matching caps at bolts.</p>
43			<p><u>Bollard Lights (Type FXG)</u> Electrical contractor had removed multiple fixtures at the time of the 10/16/08 walk-through. Reason unknown.</p>
44	<p><u>Tree Lights (Type FXB)</u> Tree lights not aimed correctly. Aim, adjust, and lock in place to satisfaction of Owner/End-user.</p>		
45	 <p>6/12/08</p>	<p><u>St. Roch Yard at Existing Building</u> Fire Hydrant - Provide extension as required to bring collar above grade per Dtl. 8/C403.</p>	



46	 6/20/08	 7/2/08	
<p><u>St. Roch Yard at Existing Building</u> Siamese connection not provided at SW corner of building as called for on Dwg. C301, Dwg. FP-101, and Submittal #15300-37. Single connection provided, not Siamese. Provide sign-off in writing from Fire Marshal that a single connection is acceptable or provide Siamese.</p> <p>Paint grating black to match original / adjacent existing.</p>			
47		<p><u>Access Hatch To Existing Basement</u> Provide exterior rated, weather-tight access hatch. The installed product was not submitted for review and is not suitable for this application.</p>	
48		<p><u>Silt and Erosion Protection</u> Remove all silt and erosion protection upon project completion.</p>	
49			<p>Remove all construction material, debris, tools, equipment, dumpsters, etc. upon project completion.</p>





Surface Level Parking Lot			
50		<p><u>Topping Slab</u> Cracks at the topping slab are not acceptable. Repairs are required per contract per Spec. Section 03300-3.12-D-7 and 03300-3.12-F. SHCA/TDEG have recommended the use of either Sikadur 55 SLV or SikaPronto 19. Owner to provide further direction confirming if/whether they accept the topping slab.</p>	
51		<p><u>Deck Drains (Typ./6)</u> Drains continue to leak at multiple locations. Provide remedial action as directed by the Owner. See also comments above. Note, pilot holes and temporary pins observed in various locations. Repair concrete spalls at drain patches to like new condition, typ. if Owner accepts topping slab.</p>	
52		<p><u>Center Planter</u> Remove garbage and debris. Provide 1% slope to drains as indicated on Dwg. PP-201.</p>	
53		<p><u>Wheelstops</u> Remove excess adhesive.</p>	






54	<u>Striping</u> Thickness of stripes and markings does not conform to Specification Section 02580 at multiple locations. Reapply per manufacturer's instructions and provide letter of acceptance from manufacturer's field rep.	
55	 <p>Photos taken 5/29/08</p>	<u>Parking Lot – SW island</u> Ensure damaged granite curb on north side of SW island has been replaced as previously called for (ref. SHCA Field Report #Ph.2-046, Item #6). Area not observed during the punch list walk-through.
56	 <p>Photo taken 9/9/08.</p>	<u>Handicap Parking Signs (Site Signage Types C and D, typ/4)</u> Paint sign posts and bases yellow as called for on Dtl. 11/C401.
57		<u>Traffic Sign Posts, Typical Throughout</u> Breakaway connections not observed. Ensure provided per Traffic Sign Post Detail on Dwg. C401.
58		<u>Chain Stop at NW corner</u> <ul style="list-style-type: none"> • Provide removable center bollard as called for on Dtl. 2/C401. • Provide eye bolts and chains as called for on Dtl. 2/C401 • Remove rust from bollards, re-prime, paint yellow as called for on Dtl. 2/C401
59		<u>Site Signage Type H (Double Arrow at Island)</u> The following comment is based on review of photo; review in field to confirm if action required: Purpose of sign is for traffic approaching from the west. Confirm sign angled as required to be visible from the south aisle while approaching from the west.





Garage		
60	See also SHCA Phase One Garage Punch List last dated 9/5/06. Complete all open items.	
61	 <p>Photo taken 9/9/08</p>	<u>Garage Gates and Security Devices</u> Not in SHCA's scope / not reviewed.
62	 	<u>Site Signage Type L</u> Sign observed stored in Garage. Install on pier as indicated on Dwg. C001.
63		<u>Garage – South Elevation</u> Remove efflorescence. Refer to general comment elsewhere in this report.
64		<u>Retaining wall south of Garage</u> Remove exposed nails and broken embedded nails. Patch and repair concrete to match adjacent.

65		<u>Garage – South Elevation</u> <ul style="list-style-type: none"> • Remove exposed nails • Remove stone anchor from vertical angle • Remove stains and foreign material • Patch concrete spalls to match adjacent 	
66		<u>Garage – South Elevation</u> <ul style="list-style-type: none"> • Remove efflorescence from lintel. Ensure weep holes are not clogged and that weeps extend back to the cavity between stone facing and concrete substrate. • Paint lintel Gray (P-12) to match concrete as indicated in Spec. 09900 and 09005. • Paint horizontal and vertical angles at stone reveal Gray (P-12) to match concrete as indicated in Spec. 09900 and 09005. • Ensure work per SKE-29 (emergency ballasts) provided typ/2 locations (south and west). Work not observed. 	
67	 6/12/08	<u>Parking Garage – Transom</u> Phase One remedial work appears not to have been provided or was unsuccessful. Concrete spall observed. Provide remedial work as required. Refer to SHCA Garage Punch Lists dated 4/24/06 through 9/5/06.	

68	 <p>Photo above taken 10/16/08; all other photos taken 9/12/08</p> <p><u>Garage Leaks</u> Garage continues to leak at multiple locations. Provide remedial action as directed by Owner.</p>	
69	 <p><u>Garage Lighting Controls</u> Provide Lighting Controls per Response to RFI-102B dated 3/14/07 (bought and paid for in PCO #59/CO #6).</p>	

70		<p><u>Garage Trench Drains</u> Soil Erosion and Sediment Controls as required per contract during construction phase do not appear to have been provided.</p> <ul style="list-style-type: none"> • Remove organic growth • Remove construction debris, silt, dirt, etc. • Remove rust from grille, prime and repaint • Ensure drains are not clogged. 	
71		<p><u>Garage Interior – Exit Sign</u> Remove exit sign from above vehicular exit.</p> <p>Discussed and approved by Building Official via e-mail dated 3/27/08; ref. also SHCA Field Report #Ph.2-042, Item #1.</p>	
72		<p><u>Garage Interior – Exit Sign</u> Turn sign 90-degrees counter-clockwise. Ensure sign is double-faced (not observed). Chevrons to point west.</p>	
73		<p><u>Garage Interior</u> Clean slab. Remove stains, excess material, etc.</p>	

74		<u>Garage Interior – Slab perimeter</u> Provide backer-rod and sealant at slab perimeter as called for in Phase One documents.	
75		<u>Garage Interior</u> Remove temporary wires, string, etc from pipes, conduits, hangers, etc.	
76		<u>Fire Protection Identification</u> Provide Fire Protection Identification per Spec. 15300-1.17 and -1.18. Sign shown here does not belong at this location.	
77		<u>Catch Basins</u> Inlet protection does not appear to have been provided during construction. Clean grates, chambers, etc. Ensure drains are not clogged.	
78		<u>Garage Interior - NE corner</u> Remove all construction material, debris, tools, equipment, etc. upon completion of the project.	

79		<u>Wheelstops</u> Reset wheelstop at Parking Space #38.	
80		<u>Wheelstops</u> Replace damaged wheelstops if/as directed by Owner/End-user.	
81		<u>Striping</u> Provide diagonal striping between Parking Spaces 8 and 9 as indicated in the contract documents.	
82		<u>Speaker Strobes</u> Remove dust covers upon project completion.	

General Comments Typical for All Elevations

83



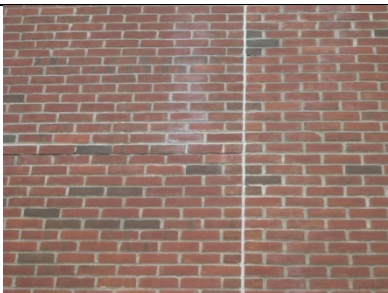






Remove temporary nails, screws, plugs, anchors, tape, etc. from all exterior surfaces (some, not all, areas shown above).




84




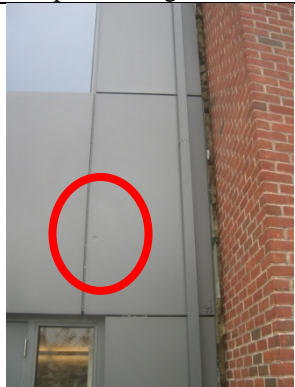


Remove excess mortar, rust, paint, stains, splatter, excess sealant, dirt, etc. from all exterior surfaces (some, not all, areas shown above).




85		Remove rust, paint, stains, splatter, dirt, etc. from all concrete and asphalt paving (some, not all, areas shown above).	
86	<u>Efflorescence</u> Remove efflorescence from all exterior surfaces. Use ProSoCo SureKlean “Vana Trol” (or approved equal), in accordance with manufacturer’s recommendations. Prepare sample mock-up for Architect’s review prior to proceeding with full removal throughout. Note to Owner, areas should be monitored with the expectation that additional/supplemental efflorescence may need to be removed the following spring.		
87	<u>Exterior Metal Finishes</u> Touch up P-11 finish at all exterior metal throughout. Exposed metal observed at multiple locations. Note for record, P-11 finish not provided at steel (ref. Response to RFI-215). Substitute product not reviewed / not approved by SHCA.		
88		<u>Mismatched Mortar</u> Various locations throughout but most noticeably at relieving angles: Replace mortar at remedial work and provide new to match adjacent.	
89		<u>Soft Joints</u> Remove sealant and control joints and provide proper color. Ref. comments to Submittal #07920-19 and #07920-20; and SHCA e-mail dated 2/12/08. Provide: <ul style="list-style-type: none">• Aluminum Gray at horizontal soft joints in brick and all joints in granite• Redwood Tan in vertical soft joints in brick	





90		<p><u>Frost-Free Hose Bibbs</u></p> <p>All hose-bibbs throughout must be installed such that the plate is outboard of the exterior walls, not flush. There is a drain at the bottom of the plate that needs to be open to the air.</p> <p>The patching that has occurred at various locations is not acceptable to SHCA and could be a long term maintenance concern.</p>		
91		<p><u>Downspout Shoes</u></p> <p>Provide adapters for connecting aluminum downspouts to cast iron downspout shoes as called for in Spec. 07720-2.8-B to prevent foreign material, etc. from entering.</p>		
92		<p><u>Rainwater Leaders</u></p> <p>Installation of leaders does not comply with Dtl. 10/A540 or Response to RFI-393. Contractor to provide submittal for review indicating what was installed and how they propose to seal the installation.</p>		
93		<p><u>Motorized Window Operators</u></p> <p>Remove stickers/labels visible from grade (note photo shown here was taken on the roof where visibility of stickers is not a concern).</p>		
94	<p>Provide final adjusting and cleaning of all exterior items per the following spec sections and associated approved submittals:</p> <ul style="list-style-type: none">• Close-out Procedures per Spec. 01770-3.1• Mortar and Repointing per Spec. 04100-3.8• Brick Restoration per Spec. 04210-3.4• Cast Stone Restoration per 04720-3.6• Pre-cast per Spec. 04721-3.4-D• Brick Unit Masonry per Spec. 04800-3.9• Stone Masonry per Spec. 04860-3.6• Masonry Cleaning per Spec. 04902			



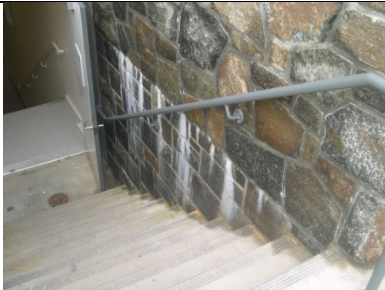


		<ul style="list-style-type: none"> • Pipe and Tube railings per Spec. 05521-3.5 • Storefront Systems per Spec. 08410-3.3 • Aluminum Windows per Spec. 08520-3.4 • Finish Hardware per Spec. 08710-3.4 • Glazing per Spec. 08800-3.6 • Fire Resistive Glass Walls per Spec. 08810-3.4 • Louvers per Spec. 10200-3.4 • Signage per Spec. 10431-3.4 	
North Elevation			
95	Complete open items from Punch List dated 5/3/07.		
96		<u>North Elevation – Existing Building</u> Provide emergency light to illuminate steps at path from north terrace per SHCA e-mail dated 8/21/08 as directed by Owner.	
97		<u>North Elevation - Existing Building</u> Remove paint/markings +/- 1'-0" east of buttress.	
98		<u>North Elevation - Existing Building</u> Remediations due to contractor damage: <ul style="list-style-type: none"> • Replace coping per Dwg. 1/AR203 (Rev. 2) • Repair saw cut at triangular cast stone below coping. Ref. Dtl. 7/AR501 (Rev.2). 	








99	 <p>9/9/08 10/16/08</p>	<p><u>North Terrace - Scupper</u></p> <ul style="list-style-type: none"> • Replace concrete scupper to match drawings. Scupper must project past foundation wall. Provide submittal for review before proceeding. • Remove tape and excess material. • Provide lintel at unsupported cavity construction. • Paint lintels P-13 to match brick as called for in Spec. Section 09900 and 09005. 	
100		<p><u>North Terrace</u></p> <ul style="list-style-type: none"> • Fill hole at bottom of parapet wall with mortar (top landing of steps) • Repoint cracked mortar per Dtl. 6/AR-501 (Rev. 2) • Remove efflorescence from brick. See general note elsewhere in this report. 	
101	 <p>Composite image</p>	<p><u>North Elevation –Col. Line EY.2 to EY.1</u></p> <p>Complete gutter, metal panel, and sealant installation.</p>	
102		<p><u>North Elevation –Col. Line EY.2 to EY.1</u></p> <p>Replace metal panel (westernmost panel between doors and window above). +/- 2” diameter thru-hole observed.</p>	





103		<u>North Elevation – East of Col. Line EY.1</u> Install vertical expansion joint	
104		<u>North Elevation – Col. Line EY.2 to EY.1</u> Remove magic marker from lower right panel (observed west of leader).	
105		<u>North and Hidden Elevations – Gable End at Col. Line N</u> Provide metal panels at gable end and Col. Line 17 from EY.1 to west of Window W16A. Complete roof membrane termination at high roof.	
106	 9/9/08	<u>North Elevation – Signage at Door 6-1A</u> Provide remedial work indicated in Item #48 from Interior Punch List.	





<p>107</p>	 <p>10/16/08</p>  <p>8/4/08</p>	 <p>8/4/08</p>  <p>8/4/08</p>	<p><u>North Elevation – Sill detail at 1st floor Clerestory windows</u> Installation does not conform to Dwg. 6/A509, window shop drawing comments, and sketches SK-070122-D and –E. Contractor to ensure installation is weathertight per this means and methods change. Open gaps observed.</p>	
<p>108</p>			<p><u>North Elevation – 2nd floor Clerestory windows</u> Vertical divisions between window units appear to be damaged or have excess material (observations made from ground without binoculars).</p>	
<p>109</p>	 <p>9/9/08</p>		<p><u>North Elevation – Loading Dock</u> Provide proper frame and formed aluminum sill at louver in concrete wall per specs and approved shop drawings.</p> <p>Note for record, size of louver not approved by SHCA/TT.</p>	
<p>110</p>			<p><u>North Elevation – Loading Dock</u></p> <ul style="list-style-type: none"> • Remove rust stains and other mars. • Provide loading dock bumpers per Dwg. A004, Response to RFI-284, and comments to Submittal #11160-01. 	





111		<u>Loading Dock Steps – Top Landing</u> Excess concrete observed at top post. Grind smooth.	
112		<u>North Elevation – Door 138A</u> East Jamb: complete construction at base flashing. Exposed membrane flashing not acceptable; not allowed per manufacturer.	
113		<u>North Elevation – Door 138A</u> Complete installation of Door Hardware.	
114	 Photo taken from the interior	<u>North Elevation - Easternmost 1st Floor Clerestory Window in Office 139</u> The coating, lamination, or screen has been damaged or marred. Clean or replace as required to like new condition.	
115		<u>North Elevation – Stair 8</u> Provide FXF(EM) per SKE-28 as requested by the Building Department.	







116	 9/9/08	<u>Stair 8</u> Refer to SHCA Field Report #Ph.2-045, Item #5 thru 9. Provide remedial action as required to meet code sections referenced therein.	
117		<u>North Elevation – Stair 8 – Door 8-0</u> Complete installation of Door Hardware.	
118		<u>North Elevation – Stair 8 – Door 8-0</u> <ul style="list-style-type: none"> • Complete flashing termination at lintel above door (stainless steel base flashing not provided as called for in contract documents: cut back flexible membrane flashing, provide stainless steel drip edge instead per manufacturer's installation instructions). • Provide sealant between lintel and concrete. • Paint lintel P-12 to match concrete per Spec. 09900 and 09005. 	
119		<u>North Elevation – Stair 8</u> Remove efflorescence from stone. See general note elsewhere in this report.	
120	 	<u>North Elevation – Col. Line K – Rainwater Leader Recess</u> Provide P-11 metal panel at base of niche / top of cast stone. Panel in place stops short; membrane flashing beyond left exposed.	

121			<u>North Elevation btw. Col. Line K and J</u> <u>Intersection of concrete retaining wall and North Elevation:</u> Replace sealant where concrete wall meets pre-cast panel.	
122	 5/29/08		<u>North Elevation – Col. Line 17 at J - Brick shelf angle</u> Ensure the following comment from SHCA Field Report #Ph.2-046, Item #14 has been addressed (area not observed during punch list walk-through): <i>Cut end of brick angle left exposed. End should be cut back, painted, and corner lip brick per Shape B-6 on Dwg. A571 and comments to Submittal #04800-12 installed.</i>	
123			<u>North Elevation – Cafetorium Doors (Doors 124B and 124C)</u> <ul style="list-style-type: none">• Complete Door hardware and security installations• Replace cut pieces of bottom sweeps with continuous piece.	
124	 10/16/08	 8/4/08	 8/4/08	<u>North Elevation btw. Col. Line G and D</u> Remove staining from temporary run-off at brick and pre-cast panels.

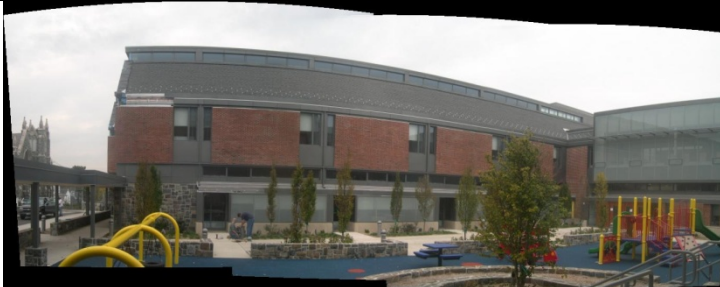



125		<u>North Elevation – Gym Double Doors (Door 127)</u> <ul style="list-style-type: none"> Remove temporary screws, patch and repair to like new condition. Repair paint finish 	
West Elevation			
126		<u>West Elevation at Col. Line 14.4</u> Metal panel north of 1 st floor clerestory windows in Lobby 121 (Window W4): finish appears to be damaged. Clean, repair, or replace as required to provide panel in like new condition.	
127		<u>West Elevation – return at Col. Line 15</u> Coordinate size of opening in brick with size of flange on sidewall sprinkler head. Seal weathertight.	
128	 Looking up	<u>West Elevation – Pre-cast panels below canopy at Lobby 121</u> Remove sharp metal from vertical joint between second and third panel. Complete sealant installation.	





129		<u>Cornerstone</u> Remedial work was provided at the completion date. Font of the number 8 does not match adjacent; work was not reviewed with SHCA before proceeding. As noted previously, SHCA/D360 can provide artwork for the correct font.	
130		<u>West Elevation btw. Col. Line 14.4 and 12</u> <ul style="list-style-type: none"> • Complete gutter and metal panel installation • Complete sealant installation at 2nd Floor Window in Lobby 121, north jamb • Replace incorrect sealant color at vertical brick joint at south side (note for record, joint was not supposed to be exposed, Ref. Dtl. 10/A546 tagged from 2/A506. 	
131		<u>West Elevation and Hidden Elevation at Col. Line 12</u> <ul style="list-style-type: none"> • Complete metal panel installation at gable end and coping. • Complete high roof membrane termination • Complete gutter and metal panel installation along Col. Line B 	
132		<u>West Elevation – Below Storefront Unit at Room 119</u> High point of finished grade at building perimeter was not maintained at EL. 124'-0" as called for on the drawings. Concrete paving and riverstone installed lower than EL. 124'-0". Provide additional riverstone to conceal exposed dampproofing below storefront unit.	
133		<u>West Elevation – Below Storefront Unit all other niches</u> High point of finished grade at building perimeter was not maintained at EL. 124'-0" as called for on the drawings. <ul style="list-style-type: none"> • Provide dampproofing at foundation walls per Owner directed change (waterproofing called for per contract). • Provide additional riverstone to conceal exposed dampproofing below storefront unit. 	






134		<p><u>West Elevation btw. Col. Line 5 and 6</u> Refer to general comments elsewhere in this report regarding depth of wood mulch and type of edging. If Owner/End-user allow the use of plastic edging, remove the rusted, exposed metal anchor shown here and provide submittal of manufacturer's anchorage system for review.</p>	
135		<p><u>West Elevation</u></p> <ul style="list-style-type: none"> • Complete metal panel and gutter installation at First Floor Roof (Col. Line A and Col. Line 1) • Complete metal panel and gutter installation at Col. Line B and Col. Line 0.2 	
136		<p><u>South Elevation</u> Complete metal panel and sealant installation.</p>	
137		<p><u>South Elevation - Top of granite at Col. Line C/0.2</u> Either the top of stone not installed flush or stainless steel cap flashing has lifted up. Provide remedial work as required to ensure water drains away from building and installation is weathertight.</p>	




138		<u>South Elev. – Area btw Col. Line C and D above canopy</u> Temporary protection in place, extent of completion not observed. Ensure cow tongue Downspout Nozzles for Overflow Roof Drains (ORD) have been provided (qty/2). Ref. Dwg. 3/A200 and Dtl. 7/A543 tagged from 3/A502. Ensure installed products are stainless steel per Spec. 15440-2.1-B and provided with birdscreen at fixture interior.	
139	 	<u>South Elevation – Door 170</u> Complete installation of doors and hardware. Replacement doors observed stored outside.	
140	 	<u>Canopy Alternate</u> <ul style="list-style-type: none">• Per Response to RFI-196 and approved Submittal #09900-02, -03, and -06: Provide 100% acrylic latex solid-color stain and stain-blocking primer for use at red cedar (in lieu of prime and paint per Spec. 09900-2.7-B and 09900-2.8-A). Approved color = Cedar SW3034 per comments to Submittal #09900-06.• Provide metal panel trim at canopy perimeter per SK-070105 series sketches issued in Response to RFI-083.	
141		<u>Canopy Alternate</u> Edge details do not conform to SK-070105 series sketches. Changes not reviewed by SHCA.	




9/9/08

142	 <p>Composite image</p>	<p><u>Courtyard West</u></p> <ul style="list-style-type: none"> • Complete metal panel and sealant installation. • Complete gutter installation 	
143	 <p>6/26/08</p>	<p><u>Courtyard West Elevation – Exterior niches at 1st Fl. Classrooms</u></p> <ul style="list-style-type: none"> • Remove rust from downspout boots; prime and repaint. • Repair cracks in pre-cast panels • See also general comment elsewhere in this report re: adapters 	
144	 <p>Photo taken 7/2/08</p>	<p><u>Hidden Elevation – Column Line H between 13 and 14</u> Provide downspout and downspout shoe per Dwg. A104 and A501 tied to below grade drainage system.</p>	
145	 <p>Photo taken 7/2/08</p>	<p><u>Courtyard North</u></p> <ul style="list-style-type: none"> • Replace damaged gutter fascia with new. • Gaps observed below. Seal weathertight. 	

146	 <p>Photo taken from roof</p>	<p><u>Courtyard North - Upper west metal panel above Curtain Wall</u> Remove foreign material and/or replace panel. Finish appears to be damaged as viewed from grade.</p>	
147	 <p>Composite image</p>	<p><u>Courtyard North</u> Provide stainless steel Downspout Covers in soffit (qty/2) per Dwg. P-301 and Dtl.6/A542 tagged from 4/A501.</p> <p>Ref. Response to RFI-072 dated 11/14/06 and RFI-072A dated 1/17/06.</p> <p>Interior downspout outlets currently covered by metal panel soffits.</p>	
148		<p><u>Courtyard North</u> Note for record, submittals for extended sunshade arms east of Col. Line L not submitted for review.</p> <p>Ref. Response to RFI-219 and SK-070420 Rev. 1 dated 4/23/07.</p>	
149		<p><u>Courtyard North</u> Remove incorrect colored expansion joint below canopy at NE corner of courtyard. MM Systems Sandstone was approved for use at Pre-Cast panels and MM Systems Rustic Brick for use at Brick (ref. comments to Submittal #05811-06A).</p> <p>However, contractor appears to have installed a substitute product/manufacture from what was submitted/approved (Johns Manville vs. MM Systems). If so, provide Johns Manville color chart for review and selection so that single source is provided as required per Spec. 05811-1.6-B.</p>	

150		<p><u>Courtyard East – Hidden Elevation at Col. Line 6.8</u></p> <ul style="list-style-type: none"> • Complete installation of Door 7-1A and hardware. • Provide missing metal panel east of Door 7-1A • West of Door 7-1A: cut back exposed membrane flashing between brick/pre-cast. Clean S.S. flashing 	
151		<p><u>Courtyard East – Col. Line K.4/6.8</u> Remove unused low voltage wire. Patch hole.</p> <p>Ref. SK-080512-F and -D.</p>	
152	 7/2/08	<p><u>Courtyard East - Steel lintels above Windows W23 (Room 249) and Window W5B (Stair 7)</u> Paint exposed lintel P-13 to match brick per Spec. 09900 and 09005.</p>	
153	 Photos taken 6/20/08 	<p><u>Courtyard East – Door 161</u></p> <ul style="list-style-type: none"> • Complete installation of doors and hardware. • Changes to meeting stiles not reviewed / not approved by SHCA • Door prep was not coordinated with Finish Hardware requirements. Confirm work per Response to RFI-067A dated 11/14/06 was provided. • Owner/end-user to confirm if remedial work at incorrectly drilled holes is acceptable or if doors should be replaced 	

154	<u>Courtyard East</u> Remove weeds from planter between ramp and wall at Col. Line K.4	
155	 <p>Photo taken 8/4/08</p>	<u>Courtyard East – Handrails</u> Patch holes at tops of posts.
156	 <p>Photo taken 9/9/08</p>	<u>Courtyard East – Handrails</u> <ul style="list-style-type: none"> • Shop drawings not approved by SHCA. • Double height rails required per the State Department of Education's Bureau of School Facilities, Dwg. A002 and Dtl. 4/A003 (not necessary at middle rail of upper stair) • Bracket supported rails required per code and per Spec. Section 05521-2.2-C and Dtl. 4/A003. • Provide rails both sides of steps from play area to landing at decorative planter per Dwg. A002.
South Elevation – Column Line K.4 to EY.3 Note, observations made from grade. Access to roof above Community Room Pantry not available.		
157	Remove temporary protection if work complete.	
158	Complete open items from Punch List dated 5/3/07.	
159	See comment in Roof section regarding scupper at new mechanical doghouse (sim/opp).	
160	Provide copper downspout straps per comments to Submittal #07315-23.	
Existing East Elevation		
161	Complete open items from Punch List dated 1/25/07.	
162	Provide copper downspout straps per comments to Submittal #07315-23.	
163	 <p>11/16/04</p>	Ensure work per Dtl. 2/A548 provided at existing metal grilles in cast stone.
164	Fill hole in granite foundation wall at Sprinkler Room B-07. Remove unused conduit penetration.	
165	Remove unused electrical wiring, conduit, hose bibb, etc.	
166	Repair/replace damaged lead joint cap. Ref. Spec. 04100-2.5 and -3.7	

167	 Composite image – 9/9/08	<u>Hamilton Avenue Entrance - Handrails</u> <ul style="list-style-type: none"> • Shop drawings not provided for review. • Provide 12” horizontal extension at bottom of steps at middle handrails as required per ICC/ANSI A117.1-1998 Section 505.10. • North and south rails are required to be guardrails (42” high minimum if change in grade is 30 inches or more; 36” high minimum if change in grade is less than 30”) with projecting handrails per Spec. 05521-2.2-C at 2’-10” and 2’-0”, 1999 CSBC 1021.2, 1022.2, and ICC/ANSI A117.1-1998 Section 505.6. 	
168	 9/9/08	<u>Hamilton Avenue Entrance</u> Remove temporary signs from doors.	
169		<u>Hamilton Avenue Entrance</u> Complete hardware installation at doors.	
170	<u>Hamilton Avenue Entrance</u> Remove lifting plugs from cast stone landing. Patch to match adjacent.		
171		<u>Hamilton Avenue Entrance</u> Touch up white paint at wood casing and lites above doors.	
172		<u>Hamilton Avenue Entrance</u> Remove excess paint from glass lites above doors.	
173		<u>Hamilton Avenue Entrance</u> Reinstall existing light fixtures (wall sconces). Ensure new wiring provided as indicated on Dwg. E201.	
174		<u>Exterior PA speaker</u> Location not approved by SHCA. Location shown in SK-080512-G not provided.	

175



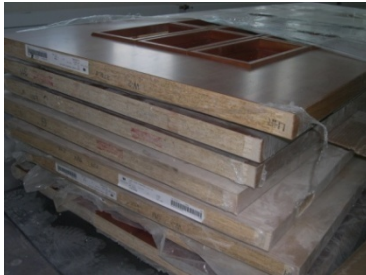
7/2/08 – shades installed since



7/2/08



10/16/08



6/20/08





6/20/08





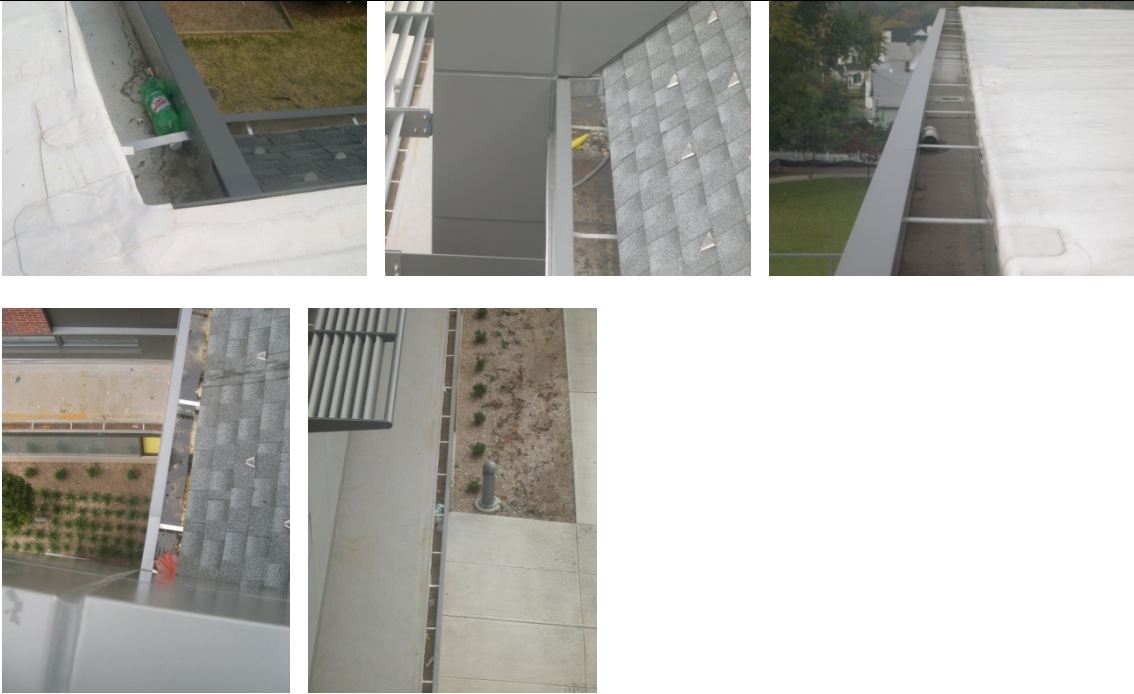
6/20/08





Doors 150D






- Remove all abandoned existing electrical devices; patch holes to match adjacent
- Doors have been left unsealed / incomplete for more than three months. Delamination observed at top of door. Contractor to provide remedial work as required to like-new condition, or replace doors. See also comments below.
- Approved submittals for exterior wood doors were for DCL-1 “Structural Composite Lumber”. Photos taken 6/20/08 indicate some exterior doors were supplied as DCL-1 as approved but others were supplied as DSC which was not submitted or approved. Ensure exterior doors are DCL-1. If not, replace.
- Doors appear to have been installed inside face out. Exposed neoprene observed on exterior side. Coordinate with comments above and reverse.
- Provide wood plugs at screw holes; finish to match adjacent.
- Provide sealant between doors and wood surrounds to seal doors in place as called for.





176	 <p>9/9/08</p>	<u>Existing Window above Door 150D</u> Provide longer shade or ensure it has been pulled down full length. Gap observed at bottom.	
177	<u>Existing Windows</u> Broken windows observed at south window in ESL Room 155, Speech Room 154, and a double window in Music Room 151. All had small round “puncture” holes. Check all windows, 1 st and 2 nd floor. Replace all broken units.		
Roof Level			
178			
<u>Roof membranes – typical throughout</u> Temporary protection per Spec. 07531-3.9-A and 07540-3.8-A was not provided. Excessive dirt, rust, and debris has accumulated throughout the duration of the project. Remove all unused material and clean membrane to like new condition per Spec. 07531-3.9-C and 07540-3.8-C.			






179		<p><u>Roof membranes – typical throughout</u> Extensive patching has been installed throughout. Manufacturer to confirm 20-year warranty will be provided. Submit manufacturer's Final Roof Inspection reports per Spec. 07531-3.8 and 07540-3.7-B. If work not acceptable to manufacturer, contractor to provide remedial work as required per Spec. 07531-3.9-B, 07540-3.7-C, and 07540-3.8-B.</p>
180		<p><u>Asphalt Roof Shingles</u> Various areas requiring repair observed throughout (the majority of which have been marked by others). Some, not all, shown above. Manufacturer to confirm 50-year warranty will be provided after repairs complete.</p>






181	 <p><u>Gutters</u> Clean gutters. Garbage and construction debris, etc. observed.</p> <p>Note for record, positive slope not provided as called for in Spec. 07720-2.8-A-1, Dwg. A104, and approved installation instruction submittal.</p>	
182	 <p><u>Gutters and Strainer-guards</u> Bee-hive type strainer-guards were called for in Spec. 07600-3.1-G, and were indicated on the drawings. Installed product is not acceptable and not provided at all locations. Provide bee-hive type strainer guards throughout.</p>	


183		<p><u>Door 302</u> Provide slip-resisting, surface-textured walk-way pads at Door 302 per Spec. 07540-1.2-A-3, Spec. 07540-2.7, and comments to WCC Submittal #07540-03 and -06 (location directed by the roofing manufacturer's rep; ref. SHCA Pre-Installation Conference Report dated 12/5/06, Item #2.6).</p>	
184		<p><u>Cast stone coping at North Elevation (facing north)</u> Remove discarded glove.</p>	
185		<p><u>Vent pipes</u> Existing unused vent pipes, quantity of three observed capped on west side of existing slate roof. Vent pipes serving plumbing fixtures in WC 158, Nurses Room 152, WC 242, 243, 244, Faculty Room 241, etc. not observed. Contractor to ensure vent pipes have been provided and submit as-built drawings indicating locations as required per specs.</p>	
186		<p>Complete high roof membrane termination. See additional comments re: metal panels.</p>	

187			<u>Flue Terminations</u> Provide bird screen at flue terminations per boiler/hot water heater manufacturers' requirements and Dwg. M503.	
188		<u>Col. Line EY.1 from 13.1 to 14</u> <ul style="list-style-type: none"> • Complete roof membrane termination • Complete expansion joint installation 		
189	 8/4/08	<u>Col. Line EY.1 from 13.1 to 14</u> Leader connection from high to low gutters has not been secured to wall as indicated on dwgs. Installation away from wall is acceptable only if both the bottom and top of the leader are otherwise secure and will withstand the Wind Design Data for this project as indicated on Dwg. S-001. Contractor to confirm and/or provide remedial work as required.		
190		<u>New Doghouse at Existing Attic</u> Complete scupper and downspout installation on north and south elevations per WCC fax (field change) issued 5/8/07. Install roof mounted equipment per Bulletin #Ph.2-004 for AC serving Elec/Data Closet (Room #250).		

191		<p><u>Metal Panels at Col. Line L</u> Complete metal panel and sealant installation. Work in progress. We assume a new panel sized to fit will be provided at location indicated here. Contractor to confirm.</p>	
192			
193		<p><u>Main Roof</u> Provide slip-resisting, surface-textured walk-way pads around rooftop mechanical equipment shown here per Spec. 07540-1.2-A-3, Spec. 07540-2.7, and comments to WCC Submittal #07540-03 and -06 (location directed by the roofing manufacturer's rep; ref. SHCA Pre-Installation Conference Report dated 12/5/06, Item #2.6).</p>	

194		<p><u>Door 301</u> Provide slip-resisting, surface-textured walk-way pads at Door 301 per Spec. 07540-1.2-A-3, Spec. 07540-2.7, and comments to WCC Submittal #07540-03 and -06 (location directed by the roofing manufacturer's rep; ref. SHCA Pre-Installation Conference Report dated 12/5/06, Item #2.6).</p>	
195		<p><u>MER 301 – Col. Line 16.4 west of Door 301</u> Discoloration observed. Cow-tongue scupper does not appear to be stainless steel per Spec. 15440-2.1-B (note, installation here is a contractor initiated change). Owner/end-user to confirm if acceptable. Ensure birdscreen has been provided at fixture interior.</p>	
196		<p><u>MER 301 – South Elevation - Column Line 14.4</u> Contractor has installed a make-shift scupper on the metal panel at the southwest corner of Room 301. SHCA was not consulted on the installation detail or location. Owner/end-user to confirm if acceptable. Ensure birdscreen has been provided at fixture interior.</p>	
197			<p><u>Roof guardrail</u> Flashing at posts does not conform to Dtl. 2/A550. Roofing manufacturer to confirm if pre-molded boot acceptable per 20-year warranty requirements at these locations. If so, complete installation per Dtl. 3/A550 and Shop Dwg. Detail 3 on page 2 of 3 from Submittal #07540-22 (boots are loose and must be secured as indicated in details).</p>

198		<u>Roof guardrail</u> Prime and re-paint at exposed and rusted areas. See general comment re: type of paint.	
199	 10/16/08	 6/20/08	<u>Roof Level – Col. Line B.6 south of 12</u> Rust continues to occur (ref. SHCA Field Report #Ph.2-047, Item #53). Remove all corrosion, and all corrosive material. Provide non-corrosive material as specified. Repair finish as required.
200		<u>Roof between Column Lines C and D circa Col. Line 10</u> Sinkhole / soft spot detected in area circled here. Provide remedial action as required to provide sound substrate.	
201		<u>Drain sumps, typ/4 at regular roof drains (not ORDs)</u> Membrane terminations do not conform to Dtl. 6/A550 or approved shop drawings. Manufacturer to confirm if acceptable per 20-year warranty requirements. Coated cast-iron drains required per Spec. and approved submittals. Cages and rings at roof drains (RD) and overflow roof drains (ORD) are chipped and rusting. Prime and repaint or provide new.	

202		<u>Hidden East Elevation at MER301 (Col. Line D.5)</u> Remove temporary shim at flashing. Ensure installation is stable and properly secured.	
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-- End of Document --