



Boat House Checklist

If you need assistance preparing your application please contact the Building Inspector.

City	Applicant	
<input type="checkbox"/>	<input type="checkbox"/>	Contact Building Inspector – Scott Hussinger <ul style="list-style-type: none"> • Cell - 262-490-8222 • Email - shussinger@ci.delafield.wi.us
<input type="checkbox"/>	<input type="checkbox"/>	Review Zoning Code Section 17.22
<input type="checkbox"/>	<input type="checkbox"/>	Title Report
<input type="checkbox"/>	<input type="checkbox"/>	Site Plan or Survey: 11 x 17 minimum format; (see attached sample)
<input type="checkbox"/>	<input type="checkbox"/>	Required setback at side yard (for new boathouse).
<input type="checkbox"/>	<input type="checkbox"/>	Required setback at high water mark (for new boathouse).
<input type="checkbox"/>	<input type="checkbox"/>	Indicate location of existing or proposed boathouse and setbacks.
<input type="checkbox"/>	<input type="checkbox"/>	Indicate location and method of rainwater run-off treatment. (ie. Rain garden)
<input type="checkbox"/>	<input type="checkbox"/>	Include Plant species list. See Zoning Code Section 17.22 (2) for list of approved species.
<input type="checkbox"/>	<input type="checkbox"/>	Include detailed landscape layout
<input type="checkbox"/>	<input type="checkbox"/>	Indicate direction of roof pitch of rainwater run-off.
<input type="checkbox"/>	<input type="checkbox"/>	Indicate rainwater downspout locations.
<input type="checkbox"/>	<input type="checkbox"/>	Indicate existing retaining wall location(s) and height(s).
<input type="checkbox"/>	<input type="checkbox"/>	Indicate any new retaining walls their proposed location and height.
<input type="checkbox"/>	<input type="checkbox"/>	Indicate plumbing detail, including fixtures and hose bibs, if water is being provided to the boathouse.
<input type="checkbox"/>	<input type="checkbox"/>	Maps from http://maps.waukeshacounty.gov/imf/sites/waukesha of site and surrounding lots; (see attached samples)
<input type="checkbox"/>	<input type="checkbox"/>	Waukesha county maps; Land tab with topographic (Contour Line 2005) @ 1:1000 scale in color
<input type="checkbox"/>	<input type="checkbox"/>	Waukesha county maps; Aerial Photography 2015 tab @ 1:100 scale in color, boathouse to be outlined in black marker pen.
<input type="checkbox"/>	<input type="checkbox"/>	Floor Plan & Elevations: 11 x 17 minimum format @ 1/8" or 1/4" scale.
<input type="checkbox"/>	<input type="checkbox"/>	Indicate building heights on elevations. (see attached samples)
<input type="checkbox"/>	<input type="checkbox"/>	Photo: 3 x 5 minimum color of existing house (if remodeling boathouse to blend with existing house)
<input type="checkbox"/>	<input type="checkbox"/>	Photos: 3 x 5 minimum color from lake of property applying from and neighbor on both sides.

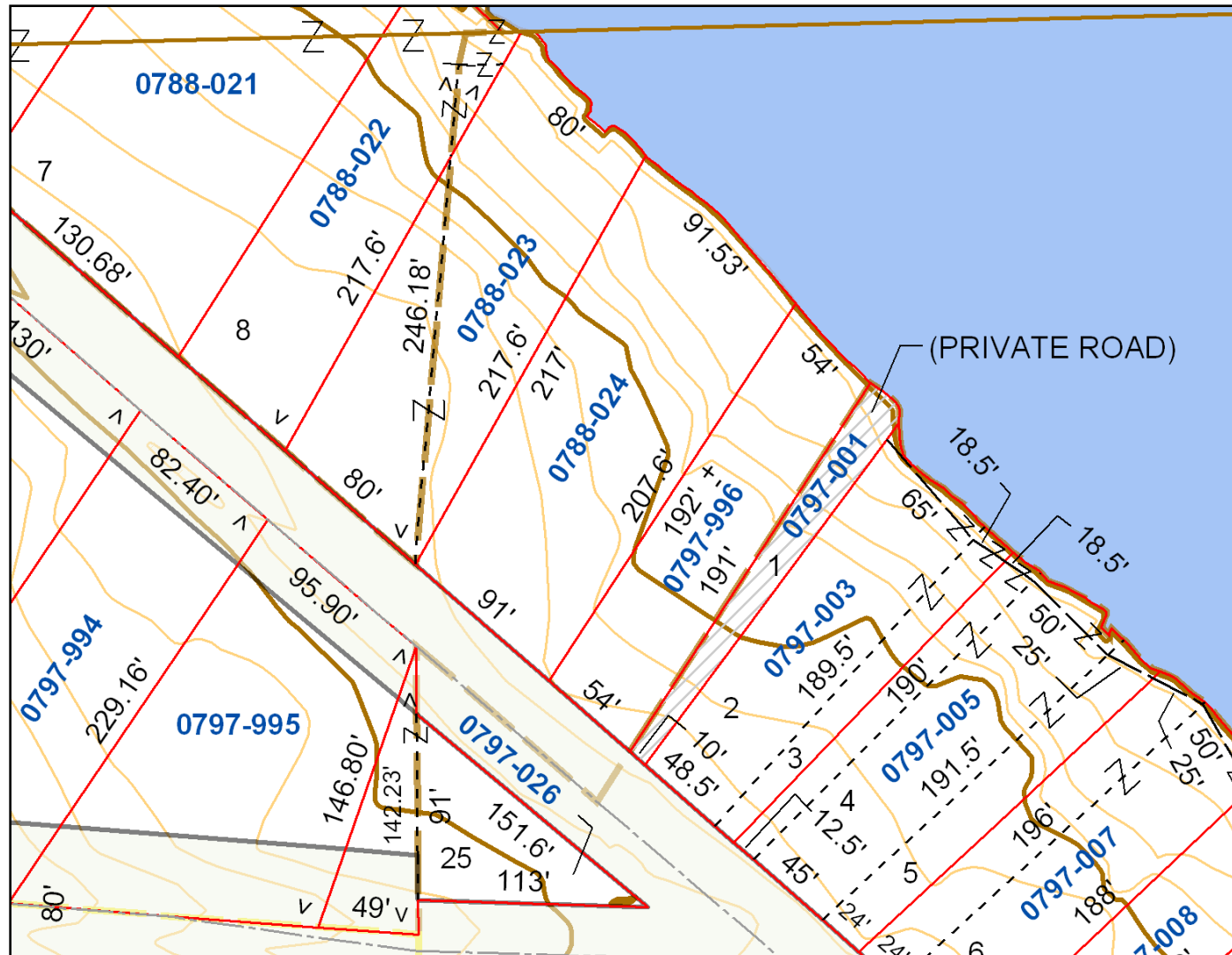
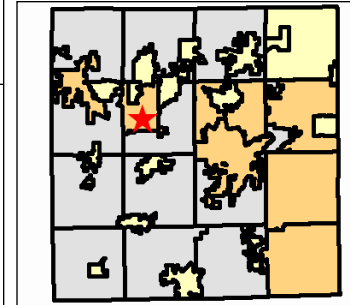
17.24 Definitions

Boathouse. An accessory structure located close to the ordinary high-water mark and designed and used for the storage of boats and accessory marine equipment normally used in the daily activities of lakefront property and which has a large garage type door for primary access on the side of the building facing the water. (Am. #602)

Rain garden. A shallow depression in the soil into which stormwater runoff from impervious surfaces, i.e., pavement and roofs, are directed. Rain gardens are planted with native Wisconsin grasses and forbs with deep root systems, in compliance with the City of Delafield Lake Nagawicka Rain Garden Planting List, to allow water to infiltrate into the soil. (Cr. #602) How to build a rain garden: <http://dnr.wi.gov/runoff/rg/>.



Waukesha County GIS Map



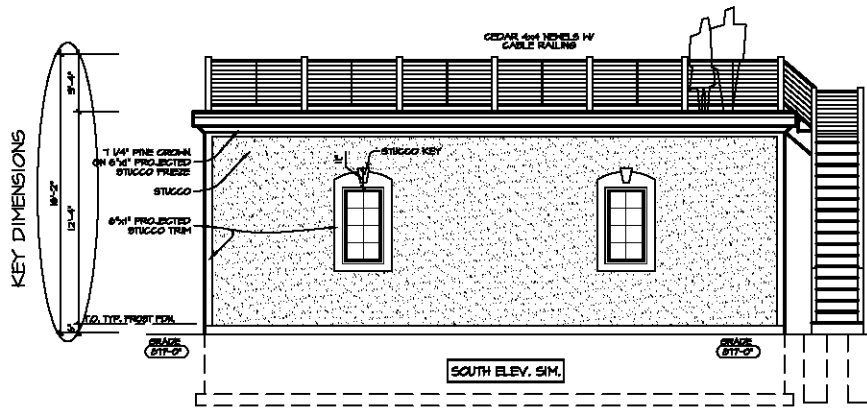
Legend

- Points of Interest**
- Type:
- ✈ Airport
 - Cemetery
 - Ⓜ Fire Station
 - Ⓜ Government Building
 - Ⓜ Hospital
 - Ⓜ Library
 - Ⓜ Post Office
 - Ⓜ Park or Recreation
 - Ⓜ School
 - Ⓜ Unincorporated Place
 - Ⓜ County Parks
 - Ⓜ Police Station
 - Ⓜ Sheriff's Substation
 - Ⓜ Civil Division Boundaries
 - Ⓜ Surrounding Counties
 - Ⓜ PLSS Section Lines
 - Ⓜ PLSS Quarter-Section Lines
- Cartographic Elements**
- Type:
- Ⓜ Easement Line (Major)
 - Ⓜ Dimension Arrow
 - Ⓜ Extended Tie Line
 - Ⓜ Identification Arrow
 - Ⓜ Meander Line
 - Ⓜ Note Leader
 - Ⓜ Parcel Line (Basic)
 - Ⓜ Tangency TL
 - Ⓜ Tie Hook
 - Ⓜ Tie Line
 - Ⓜ RDW Centerline
 - Ⓜ RR RDW Centerline
 - Ⓜ RDW Radius
 - Ⓜ Sub Block 100
 - Ⓜ Sub Block 200
 - Ⓜ Parcel
 - Ⓜ Shared Parcel
- Road Rights of Way**
- Road Type:
- Ⓜ Dedicated
 - Ⓜ Proposed
 - Ⓜ Reserved
 - Ⓜ Vacated
 - Ⓜ Accessory Plat
 - Ⓜ Condo Plat
 - Ⓜ LSA
 - Ⓜ Subdivision Plat
- Railroad Rights of Way**
- RR ROW Status:
- Ⓜ Active
 - Ⓜ Relict
- Lakes and Rivers**
- Ⓜ Lakes and Rivers
 - Ⓜ Streams and Creeks
- Contour Lines 2005**
- Type:
- Ⓜ In-Site Contour Line
 - Ⓜ Water Contour Line Approx
 - Ⓜ Index Depression Line
 - Ⓜ Index Depression Line Approx
 - Ⓜ Watershed Depression Line
 - Ⓜ Watershed Depression Line Approx
 - Ⓜ Intermediate Contour Line
 - Ⓜ Intermediate Contour Line Approx



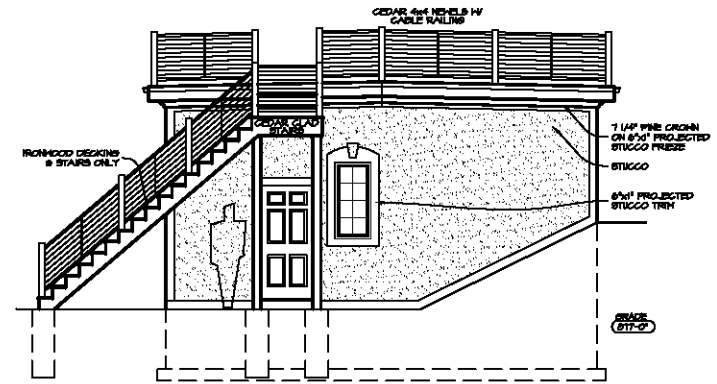
0 85 170 255 ft.

The information and depictions found on this site are for informational purposes only and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.



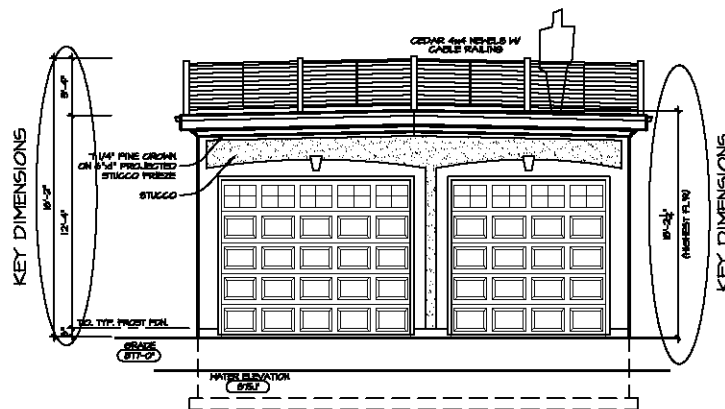
NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



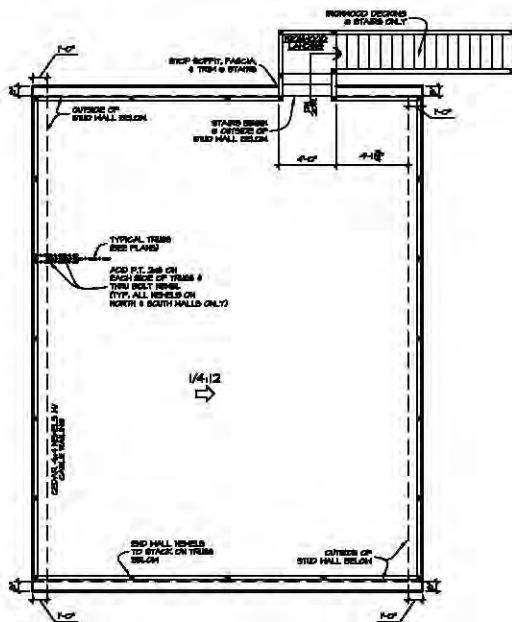
LAKE (EAST) ELEVATION

1/4" = 1'-0"

SAMPLE

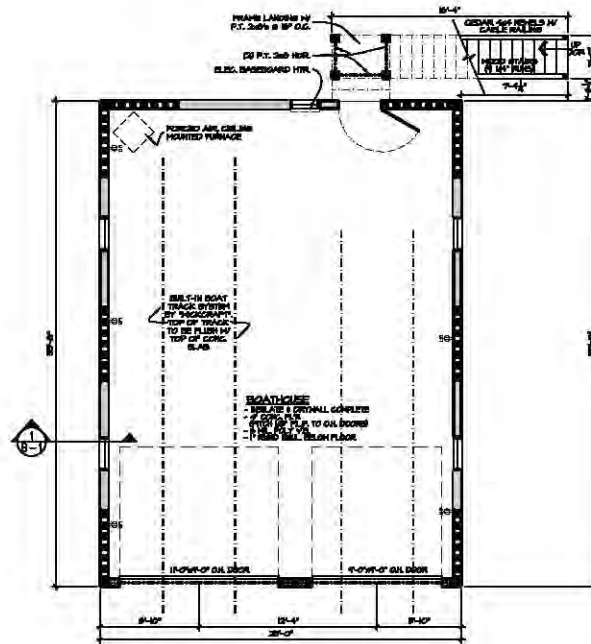
SAMPLE

SAMPLE



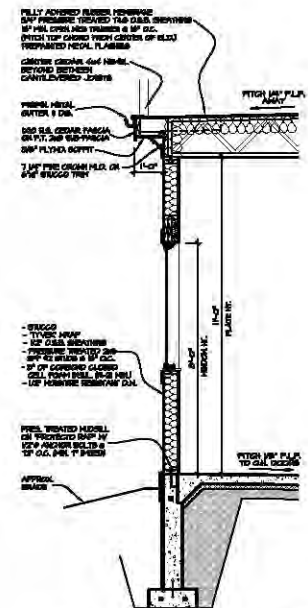
ROOF PLAN

1/4" = 1'-0"



FLOOR PLAN

1/4" = 1'-0"



① **TYPICAL WALL SECTION**
SCALE 1/2" = 1'-0"

SAMPLE

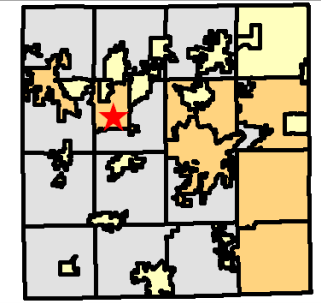


Waukesha County GIS Map



0 85 170 255 ft.

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 - CSM
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- Railroad Rights of Way**
- RR ROW Status
- Active
 - Retired
- Water**
- Lakes and Rivers
 - Streams and Creeks
- Waukesha County 2007**
- RGB
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

