

Remote Working Hub  
Proposal

To Whom It May Concern,

Connemara Chamber of Commerce is keen to promote and advance the “our Rural Future” initiative recently launched by Minister Humphries. An immediate opportunity exists to establish a remote working hub in Clifden Co Galway under this scheme.

Clifden, which is located 80km from Galway city and 60km from Westport, is ideally located as a centre from which remote working opportunities can be grasped. The town is home to a significant portion of the North Connemara population and is the centre of the trade, service, education and retail economy of North Connemara. It is also a second home to many part-time workers and transient holiday-makers, many of whom spend significant time commuting to distant work-places in the summer months.

The Chamber has identified a property on the Main Street in Clifden which has been under-utilised for more than 20 years. The property owner has provided consent towards the proposal and the Chamber has commissioned the attached engineers report which indicates it's suitability to host a remote working hub. The benefits of these hubs are clearly established and Connemara Chamber of Commerce is keen to develop the proposal. We are writing to all of our elected representatives and seeking your support in promoting the establishment of the hub at the earliest possible time.

Yours sincerely

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Connemara Chamber of Commerce

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Connemara Chamber of Commerce  
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Galway Road, Clifden, Connemara,  
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# *O'MCE*

*Structural Report  
At  
Main Street, Clifden, Co Galway*



*Enda O'Malley Chartered Engineers*

*27<sup>th</sup> April 2021.*

**EOM**

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<b>Client</b>	Clifden Chamber of Commerce
<b>Project Number</b>	1909.01
<b>Project Title</b>	Sullivan's Structural Report
<b>Location</b>	Main Street, Clifden, Co Galway.
<b>Date of Inspection</b>	26 <sup>th</sup> April 2021
<b>Weather Conditions</b>	Sunny/Warm Weather Conditions

Revision No.	Status	Author(s)	Checked by	Approved by	Issue Date
00	Approval			EOM	26/04/2021

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### 3.0 Existing Structure.

(Exterior has been inspected from ground level only). The original structure was constructed as a mixed development suitable for retail, commercial and part residential. The property structure comprises of blockwork and steel portal frame construction. The existing buildings foundation was constructed using solid concrete– most likely given the method of construction at the time. The first-floor level is comprised of precast concrete flooring. The existing internal floor finishes within the commercial comprised of a screed floor finish which varies floor finishing types throughout. The first floor is mainly open plan, in relatively good condition with minor upgrading needed. The structure is structurally sound and can withstand any alterations proposed with the proposed development. The first floor has a portal frame structure to the rear of the building which is accessible at ground level from the rear of the building. Currently being used for storage. The building is wheelchair accessible at first floor level through the rear of the building. There is two bathrooms on the first floor that are boxed off which need attention.



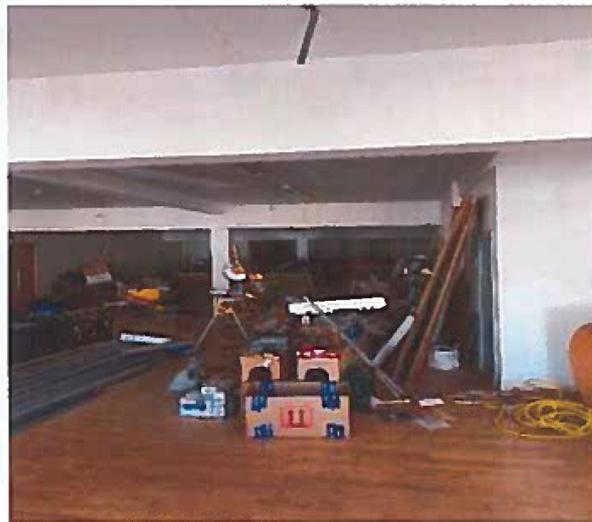
*Fig 1.3 – Rear elevation access*

### 4.0 Portal Frame

The portal frame of this structural is in good condition and is structurally sound. Such Frames need regular maintenance to ensure in the structural integrity is kept. The internal columns are boxed of with timber frames. It is recommended that these columns be encased in concrete or painted with intumescent spray to give the portal frame greater fire resistance in case of a fire.



*Fig 1.4/1.5 – Internal Structure*



*Fig 1.6 – Internal beams and columns boxed off.*

### **5.0 Main Roof**

The main roof of this building has a cut timber pitched roof construction to the front elevation with dormer windows at the second-floor level, same appears to be in adequate condition but same would need to be checked by a competent roofer to ensure same is of a good condition. The pitched roof has been finished with slates. The remainder of the roof is a metal sheeted roof. On the day of inspection the roof was not accessible and same would need to be checked by a competent roofer to ensure same is of good condition and no repairs are needed. The fascia and soffit are of timber material which is in poor condition and same requires ventilation at soffit level which should be addressed. We would recommend replacing the roof in its entirety and replacing same with new roof material equivalents.

### **6.0 Windows and Doors**

The external window and doors are of PVC material and same seem to be in adequate condition. The windows on the first-floor level on the day of inspection were not working, same should be checked

by a competent specialist to determine if windows need to be replaced. The internal doors are of a timber material and need to be replaced.

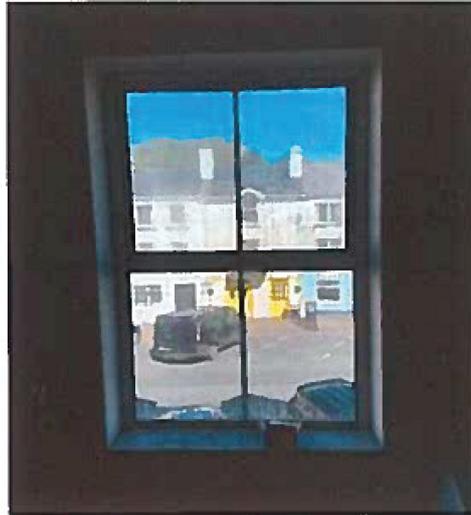


Fig 1.7. – Window on first floor level. (Not working on day of inspection)

(Brief description of the type of windows and their condition, where possible to examine them) The windows throughout the property are double glaze, top/side hung timber and metal material and appear to be in poor condition. We would recommend that all new doors and windows be replaced with double/triple glaze windows and fitted by a suitably qualified window installer. The electricals and plumbing components within the building appear to be in good order. The ceilings and internal finishes within the building are in need of attention.

#### **7.0 Building Regulations (Selected with relevance to the building).**

The following is a list of the technical guidance documents with relevance to the nature of the existing works:

##### **Structure (Part A)**

The structure is in good order and no defects noted on day of inspection.

##### **Fire Safety (Part B)**

The property has level access to the rear of the building and same shall provide for adequate access and wheelchair accessibility in the event of a fire. The property requires a new mechanical and electrical fire detection system in order to comply with part B of the building regulations. All new building materials are to be non-combustible as required.

##### **Resistance to Moisture (Part C)**

The property is free from damp ingress and as the proposed works area is on the first floor level we feel that same is unlikely to suffer from any issues.

##### **Materials (Part D)**

The majority of the building materials will be new and shall have the required BBA or IAB certificate. All new materials shall be checked on site by the engineer prior to installation.

***Sound (Part E)***

The structure shall have acoustic levels that are permissible to that of any structure or development as per part E of the building regulations.

***Ventilation (Part F)***

The property requires a new ventilation system to comply with part F of the building regulations. shall have a heat recovery system.

***Drainage and Waste Water Disposal (Part H)***

The new structure shall comply with Part H. The property is connected to the public sewer and is in charge by Galway County Council. The property also has public water supply available which is also in charge by Galway County Council.

***6.0 Conclusion and Limitations***

We carried out a full examination on the property and determined that same is suitable for development as a office or commercial enterprise given its location. The fact that the property has rear access which is suitable for wheelchair use is advantageous to the proposed development.

I make this determination by virtue of being a properly qualified Civil Engineer with a Bachelors Degree in Civil Engineering and being a Chartered Member of the Institute of Engineers Ireland and I make this declaration from facts within my own knowledge.

There are no further limitations other than the limitations as set out in the margins of the report. In general, the main structure of this property is structurally sound and requires substantial up-grading/repairs as outlined and as expected.

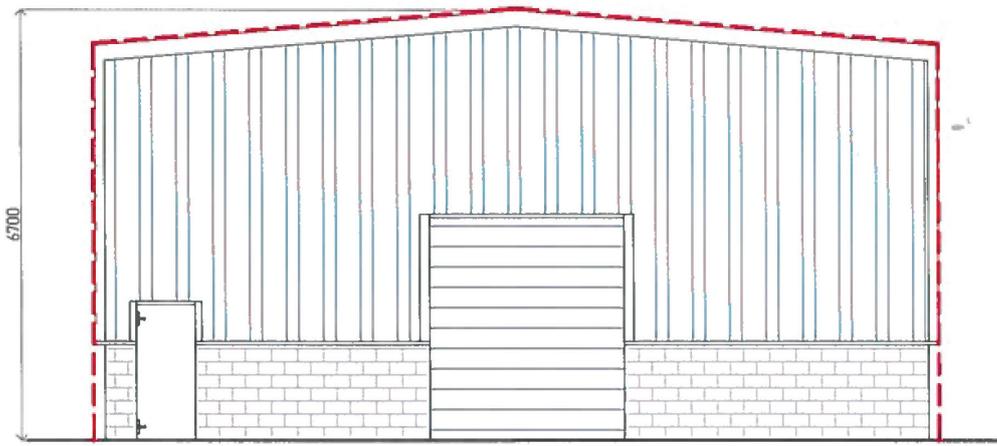
Signed:

Enda O'Malley

Enda O'Malley B.Eng (Hons) C.Eng MIEI  
Chartered Engineer

# Concept Drawings






**REAR ELEVATION - YARD**  
 SCALE 1:100

**NOTE: CONCEPT DRAWINGS**

NO.	PROJECT TITLE:	CLIENT:		
	EXISTING PLANS - SULLIVAN'S SHOP, MAIN STREET, CLIFDEN, CO. GALWAY	CLIFDEN CHAMBER OF COMMERCE		
	DRAWINGS TITLE:	DATE: APRIL 2021	DRAWN: AN	CHECKED: EOM
	EXISTING FRONT & REAR ELEVATION	SCALE: 1:100 @ A3	PROJECT NO. 1909	DRAWING NO. PP - 04
			REVISION NO. R-	



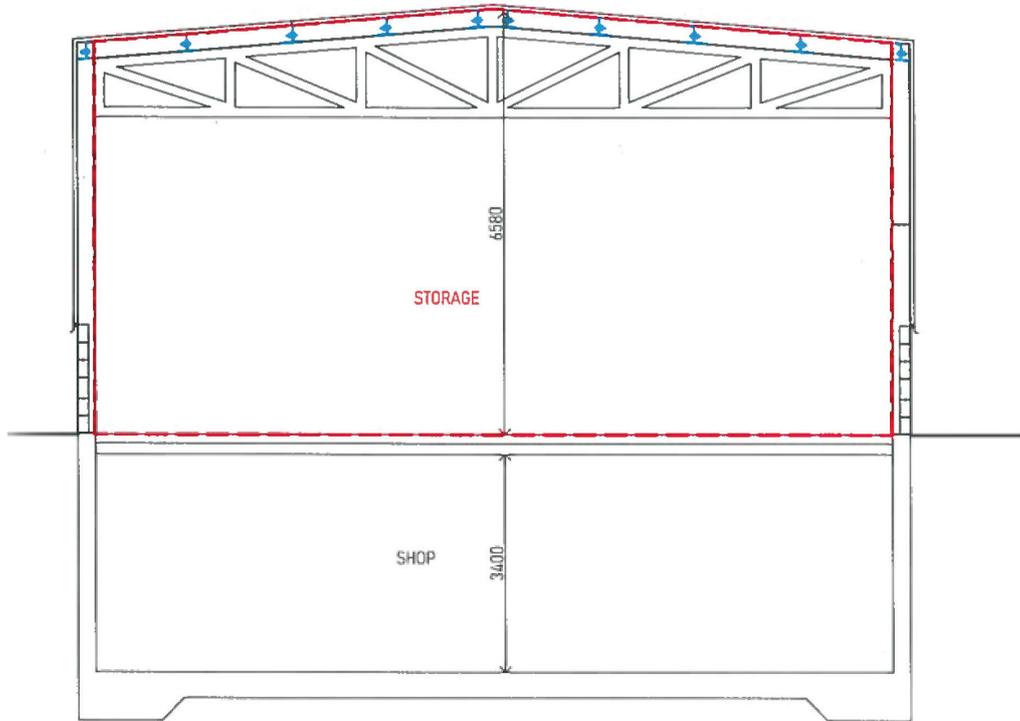


Dining Area
  Conference Space
  Reception
  Hot Spot Desks
  Coffee/Hangout Space

NOTE: CONCEPT DRAWINGS

	NO.	PROJECT TITLE EXISTING PLANS - SULLIVAN'S SHOP, MAIN STREET, CLIFDEN, CO. GALWAY	CLIENT: CLIFDEN CHAMBER OF COMMERCE		
			DATE APRIL 2021	DRAWN AN	CHECKED: EOM
		DRAWINGS TITLE: EXISTING FIRST FLOOR PLAN LAYOUT	SCALE 1:100 @ A3		
			PROJECT NO. 1909	DRAWING NO. PP - 03	REVISION NO. R-





SECTION B - B  
SCALE 1:100

NOTE: CONSTRUCTION DRAWINGS

NO.	PROJECT TITLE:	EXISTING PLANS - SULLIVAN'S SHOP, MAIN STREET, CLIFDEN, CO. GALWAY	CLIENT: ROUNDSTONE COMMUNITY COUNCIL		
	DRAWINGS TITLE:	EXISTING SECTION A - A & SECTION B - B	DATE: APRIL 2021	DRAWN: AN	CHECKED: EOM
			SCALE: 1:100 @ A3		
			PROJECT NO. 1909	DRAWING NO. PP - 05	REVISION NO. R-

